

03 DEVELOPMENT PROPOSALS



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01.1 KEY DESIGN PRINCIPLES

Taking into account the requirements of the brief, combined with an understanding of the site constraints and opportunities, this allows a number of key principles to be established, as follows:

Design & Character

To create an attractive, self-contained and functional development with clear identity, which relates well within its context. Buildings should be well-designed, with attention to detail and provide clear legibility in the choice of façade material specifications.

Functionality

To provide a development that will meet the long-term needs of occupiers for running an efficient and successful business. Clear thought must be given to optimise functionality and avoid unnecessary routes of travel.

Protect Key Viewpoints

To design the building form and elevation treatment taking into account key viewpoints and context of the development. Views may be mitigated with appropriate use of screen bunding and landscaping, and where this cannot be achieved the architecture of the buildings should address best practice to reduce visual impact.

Orientation & Movement

To ensure that the development provides a sense of arrival for visitors arriving by vehicle or on foot. Routes for HGVs, cars, cyclists and pedestrians should be clearly segregated to avoid potential conflicts. Clarity of design and layout should be at the forefront, with signage being a fallback.

Quality of Public Realm

To create a development which enhances the quality of public realm. Amenity should be provided for the use of all users to create a positive work environment for the area and within public areas of the development. New footpaths should link into the wider existing network, increasing amenity and connectivity.

01.2 LAYOUT & USE

This section describes the process of design and how it has been informed by the identified key design principles, in order to define those constraints that restrict the site's redevelopment and identify the opportunities and options for development.

The proposed use is B2/B8 (Storage and Distribution) with ancillary offices, class E(g). In proposing this, the facility will require a 24-hour/7days a week/365days a year operation, to provide flexibility and efficiency, whilst also giving opportunity for traffic associated with the development to be spread out of peak hours.

In order to establish a site layout that compliments and negotiates site constraints, several design iterations have been developed. The illustrative proposal's development can be tracked by the adjacent traffic light system.



Two- Unit Option on Southern Plot:

- ✗ Buildings to an institutional standard for B class users.
- ✗ Office elements to principal elevation.
- ✓ Separated car parking and service yards.
- ✓ Pedestrian links to existing footpaths.
- ✓ Opportunities for landscaping to site boundaries.
- ✓ Good range of unit sizes.
- ✓ Feasible access arrangement

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Single Unit Scheme on Southern Plot: Yard access from Addlestone Road.



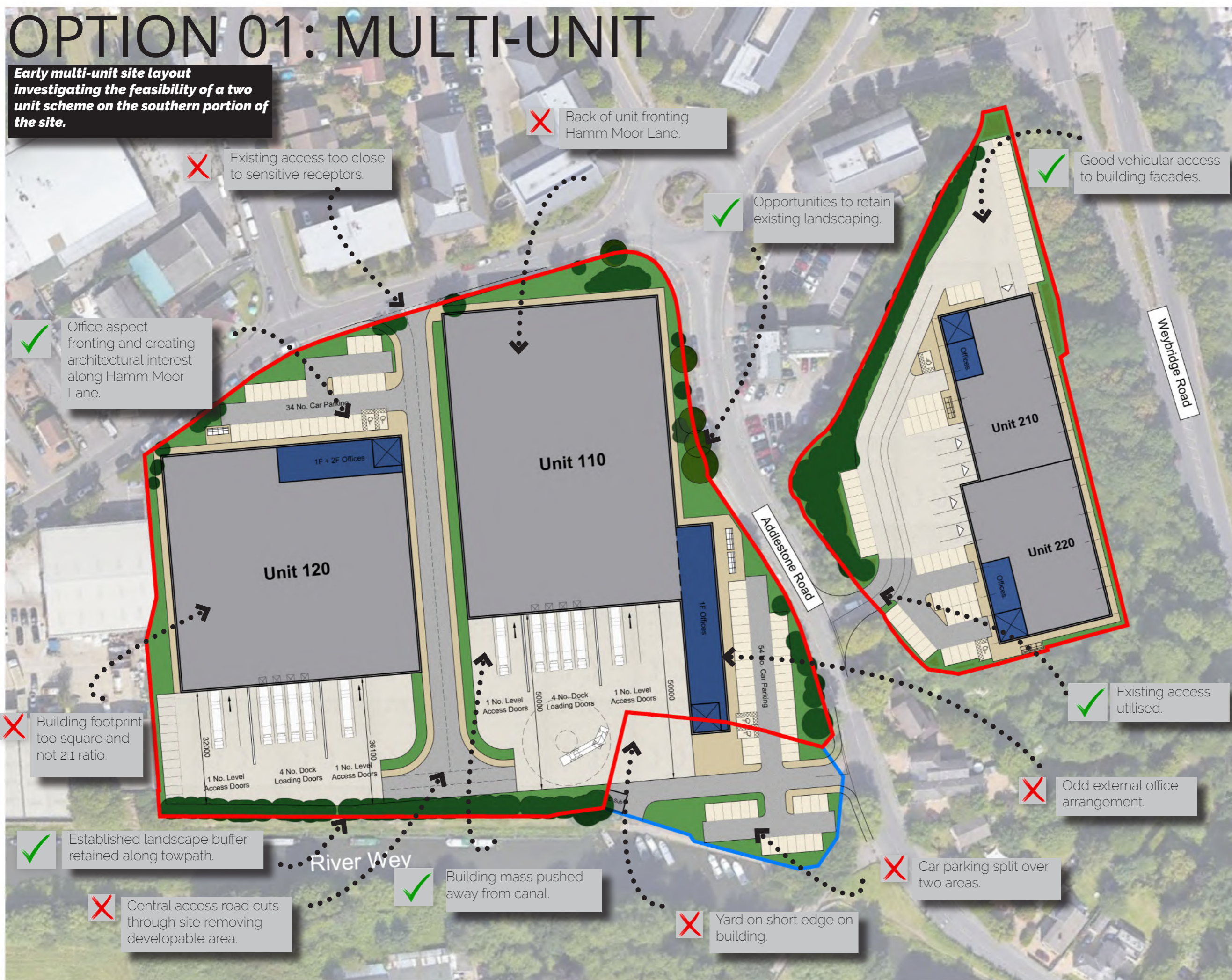
Single Unit Scheme with building mass moved away from the canal Southern Plot: Yard

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OPTION 01: MULTI-UNIT

Early multi-unit site layout investigating the feasibility of a two unit scheme on the southern portion of the site.



Dimensions are in millimeters, unless stated otherwise.
Scaling of this drawing is not recommended.
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SCHEDULE OF ACCOMMODATION (Gross External Area)

Unit 110	
Warehouse Area	- 63,749 ft ² (5,922 m ²)
Office Area (1F)	- 7,042 ft ² (654 m ²)
(Incl. GF Core)	
Total Area	- 70,791 ft ² (6,577 m ²)

Unit 120	
Warehouse Area	- 49,184 ft ² (4,569 m ²)
Office Area (1F + 2F)	- 8,067 ft ² (749 m ²)
(Incl. GF Core)	
Total Area	- 57,251 ft ² (5,319 m ²)

Plot Area	- 6.13 Acres (2.48 Hectares)
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Unit 210	
Warehouse Area	- 13,450 ft ² (1,250 m ²)
Office Area (1F)	- 2,500 ft ² (232 m ²)
(Incl. GF Core)	
Total Area	- 15,950 ft ² (1,482 m ²)

Unit 220	
Warehouse Area	- 15,800 ft ² (1,468 m ²)
Office Area (1F)	- 2,900 ft ² (269 m ²)
(Incl. GF Core)	
Total Area	- 18,700 ft ² (1,737 m ²)

Plot Area	- 2.09 Acres (0.84 Hectares)
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Total Area	- 162,692 ft ² (15,115 m ²)
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Low site density. Non-institutional building footprints that do not appeal to industrial B2/B8 users.

rev amendments by ckd date

Weybridge Business Park, Weybridge

Site Layout



Newark Beacon, Collierate Way, Newark, Nottinghamshire NG24 2TN
+44 (0)1636 653227 e: info@umcarchitects.com

RIBA PoW Stage:	1 - Preparation & Brief
Document Suitability:	S1
Drawn / Checked:	JB / CA
Date:	20/12/2021
Scale:	1:500 A1
UMC Project Number:	21490
Document Reference:	Drawing no: Revision:
21490 - UMC - ZZZZ - SI - DR - A	0011 A

10m SCALE 1:500

OPTION 02: SINGLE UNIT

Single unit scheme with service yard access off Addlestone Road.

Improved landscaping opportunities to western boundary.

Vehicular access located along Addlestone Road and away from sensitive receptors.

Building largely screened by established landscaping.

Gateway feel to park entrance with landscaping and block paving.

Service yard along long edge of building.

Building form 2:1 ratio with building mass set back from road.

Offices along short edge of building adjacent to car parking.

Existing landscaping and connection onto towpath retained.

Building facade is a continuation of existing built form along the canal frontage and defines the edge of the employment estate.

Established landscape buffer retained along towpath.

Improved landscaping to eastern boundary and opportunities for external breakout spaces/ picnic area.

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UNIT 100 GIA		
Warehouse Area	139,980 ft ²	13,004 m ²
Ground Floor Core	1,109 ft ²	103 m ²
First Floor Office	8,659 ft ²	804 m ²
Second Floor Office	8,659 ft ²	804 m ²
Escape Stair	389 ft ²	36 m ²
Total GIA Area	158,795 ft²	14,752 m²

UNIT 100 GEA		
Warehouse Area	142,371 ft ²	13,227 m ²
Ground Floor Core	1,221 ft ²	113 m ²
First Floor Office	9,430 ft ²	876 m ²
Second Floor Office	9,430 ft ²	876 m ²
Escape Stair	465 ft ²	43 m ²
Total GEA Area	162,916 ft²	15,135 m²

UNIT 210 GIA		
Warehouse Area	12,875 ft ²	1,196 m ²
Ground Floor Core	715 ft ²	66 m ²
First Floor Office	1,560 ft ²	145 m ²
Total GIA Area	15,150 ft²	1,407 m²

UNIT 210 GEA		
Warehouse Area	13,519 ft ²	1,256 m ²
Ground Floor Core	805 ft ²	75 m ²
First Floor Office	1,778 ft ²	165 m ²
Total GEA Area	16,102 ft²	1,496 m²

UNIT 220 GIA		
Warehouse Area	15,029 ft ²	1,396 m ²
Ground Floor Core	805 ft ²	75 m ²
First Floor Office	2,032 ft ²	189 m ²
Total GIA Area	17,866 ft²	1,660 m²

UNIT 220 GEA		
Warehouse Area	15,712 ft ²	1,460 m ²
Ground Floor Core	715 ft ²	66 m ²
First Floor Office	2,295 ft ²	213 m ²
Total GEA Area	18,722 ft²	1,739 m²

Total Area GIA	191,812 ft²	17,820 m²
Total Area GEA	197,741 ft²	18,371 m²

Improved site density. Site layout arrangement largely to B class institutionalised standards.

Building mass to rear of site as per existing building form.

Rev	Description	By	Date
G	Drawing updated to suit materials	LAH	MT 22.04.22
F	Drawing revised inline with topographical survey	LAH	MT 12.04.22
E	Drawing revised inline with planning comments	LAH	MT 05.04.22
D	Drawing revised inline with Mode Transport drawing 326431_PS-002	LAH	MT 24.03.22
C	Mode transport planning coordinated	LAH	MT 22.03.22
B	Mode transport planning coordinated	LAH	MT 21.03.22
A	Initial Issue	LAH	MT 10.03.22

Weybridge Business Park, Weybridge

Proposed Block Plan

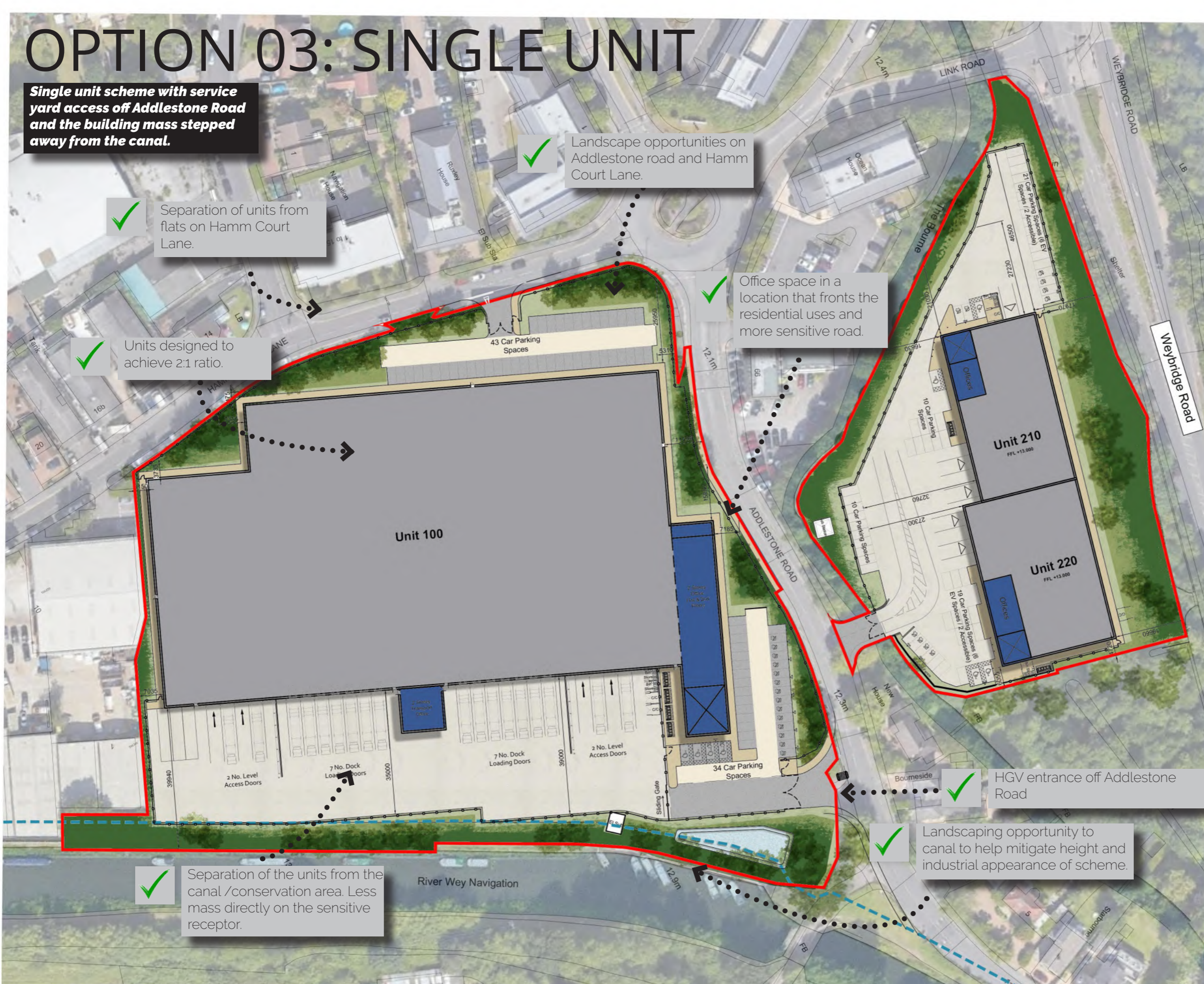


RIBA PoW Stage:	2 - Concept Design
Document Suitability:	S1
Drawn / Checked:	LAH / MT
Date:	09.03.22
Scale:	1:500 A1
UMC Project Number:	21490
Document Reference:	Drawing no: Revision:
21490 - UMC - ZZZZ - SI - DR - A	0602 H

OPTION 03: SINGLE UNIT

Single unit scheme with service yard access off Addlestone Road and the building mass stepped away from the canal.

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✓ Landscape opportunities on Addlestone road and Hamm Court Lane.

✓ Separation of units from flats on Hamm Court Lane.

✓ Units designed to achieve 2:1 ratio.

✓ Office space in a location that fronts the residential uses and more sensitive road.

✓ HGV entrance of Addlestone Road

✓ Landscaping opportunity to canal to help mitigate height and industrial appearance of scheme.

✓ Separation of the units from the canal /conservation area. Less mass directly on the sensitive receptor.

UNIT 100 GIA		
Warehouse Area	128,043 ft ²	11,895 m ²
Ground Floor Core	2,476 ft ²	230 m ²
Escape Core	459 ft ²	43 m ²
First Floor Office	7,538 ft ²	700 m ²
Second Floor Office	7,538 ft ²	700 m ²
Transport Office First Floor	1,563 ft ²	145 m ²
Transport Office Second Floor	1,563 ft ²	145 m ²
Total GIA Area	149,180 ft²	13,859 m²

UNIT 100 GEA		
Warehouse Area	130,573 ft ²	12,131 m ²
Ground Floor Core	2,758 ft ²	256 m ²
Escape Core	546 ft ²	51 m ²
First Floor Office	8,099 ft ²	752 m ²
Second Floor Office	8,099 ft ²	752 m ²
Transport Office First Floor	1,697 ft ²	158 m ²
Transport Office Second Floor	1,697 ft ²	158 m ²
Total GEA Area	153,470 ft²	14,258 m²

UNIT 210 GIA		
Warehouse Area	12,901 ft ²	1,199 m ²
Ground Floor Core	689 ft ²	64 m ²
First Floor Office	1,601 ft ²	149 m ²
Total GIA Area	15,192 ft²	1,411 m²

UNIT 210 GEA		
Warehouse Area	13,547 ft ²	1,259 m ²
Ground Floor Core	778 ft ²	72 m ²
First Floor Office	1,747 ft ²	162 m ²
Total GEA Area	16,072 ft²	1,493 m²

UNIT 220 GIA		
Warehouse Area	15,055 ft ²	1,399 m ²
Ground Floor Core	689 ft ²	64 m ²
First Floor Office	2,066 ft ²	192 m ²
Total GIA Area	17,810 ft²	1,655 m²

UNIT 220 GEA		
Warehouse Area	15,739 ft ²	1,462 m ²
Ground Floor Core	778 ft ²	72 m ²
First Floor Office	2,242 ft ²	208 m ²
Total GEA Area	18,759 ft²	1,743 m²

Total Area GIA	182,182 ft²	16,925 m²
Total Area GEA	188,300 ft²	17,493 m²

Q	Hamm Moor Lane access coordinated with Mode Transport Information.	LAH	A.J.L.	16.09.22
P	Unit 100 reconfigured.	LAH	A.J.L.	15.09.22
N	Unit 100 reconfigured.	LAH	A.J.L.	07.09.22
M	Unit 100 reconfigured.	LAH	A.J.L.	05.09.22
L	Red line boundary revised in line with Savills comments dated 06.06.22	MT	A.J.L.	17.08.22
K	2 No. Dock doors omitted	AMQ	MT	29.04.22
J	Drawing coordinated with LDA information	LAH	MT	28.04.22
H	Acoustic Fencing added as per AAC comments.	LAH	MT	22.04.22
G	Drawing updated to suit materials.	LAH	MT	22.04.22
F	Drawing revised inline with topographical survey.	LAH	MT	12.04.22
E	Drawing revised inline with planning comments.	LAH	MT	05.04.22
D	Drawing revised inline with Mode Transport drawing 326431_PS-002.	LAH	MT	24.03.22
C	Mode transport planning coordinated.	LAH	MT	22.03.22
B	Mode transport planning coordinated.	LAH	MT	21.03.22
A	Initial Issue	LAH	MT	10.03.22

Weybridge Business Park, Weybridge
Proposed Block Plan



RIBA PoW Stage:	2 - Concept Design
Document Suitability:	S1
Drawn / Checked:	LAH / MT
Date:	09.03.22
Scale:	1:500 A1
UMC Project Number:	21490
Document Reference:	21490 - UMC - ZZZZ - SI - DR - A 0602
Drawing no.:	Q

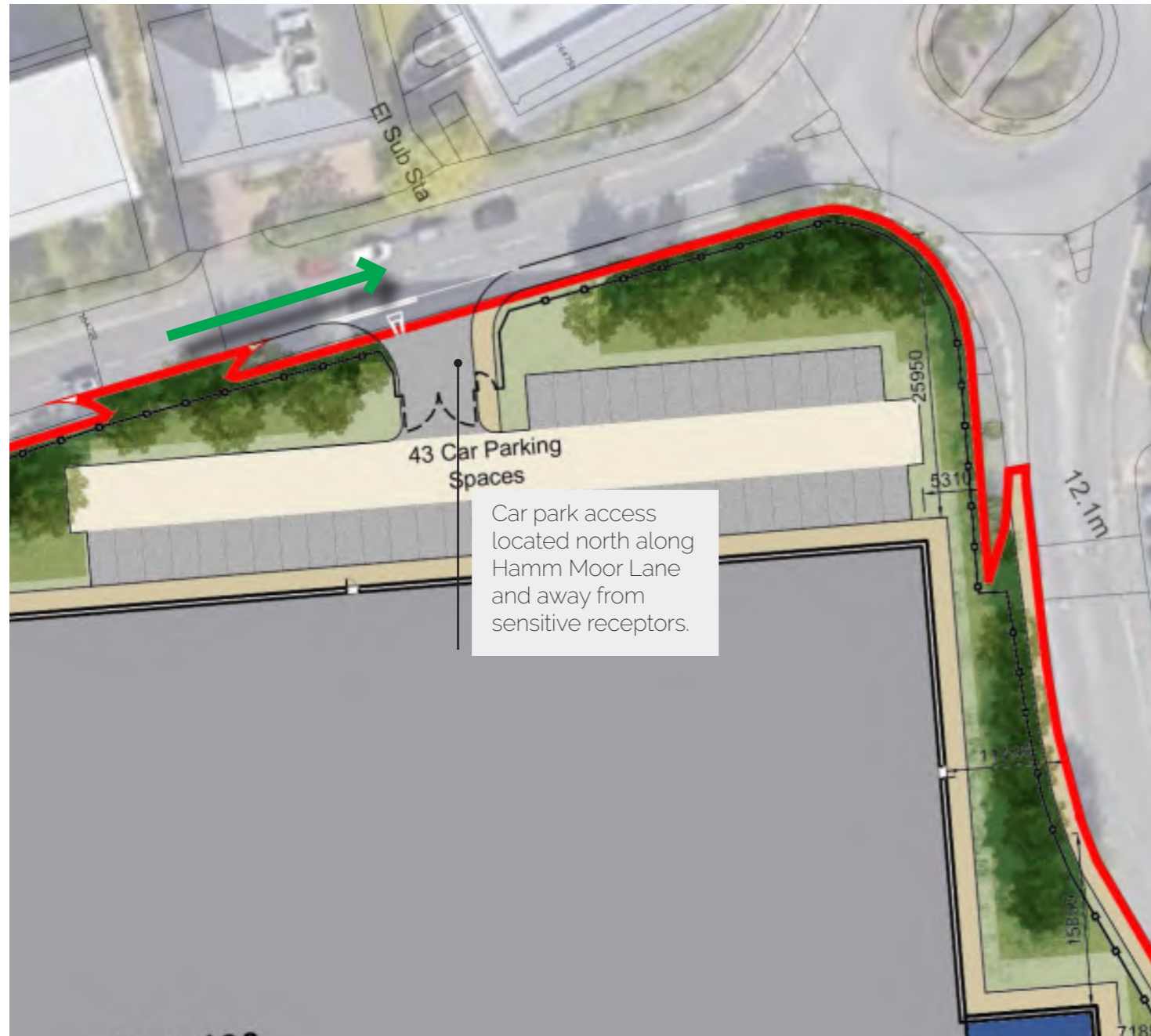
PLANNING
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04 ACCESS



04 YARD ACCESS PROPOSALS

The layout evolution investigated the feasibility of vehicular access off both Addlestone Road and Hamm Moor Lane with the advantages and disadvantages presented below. Both options are feasible at this stage with the local authority encouraging the Addlestone Road option.



Layout Option with Access off Hamm Moor Lane.



Layout Option 03 with Access off Addlestone Road.

04 ACCESS

04.1 VEHICULAR ACCESS

Vehicular access to the southern plot will be via two newly created access points along Addlestone Road. Access to the northern plot will be over the existing bridge and via the existing highway arrangement.

A separate dedicated car park entrance will reduce conflict between goods vehicles and car traffic. The car park area will be constructed in dense bitumen tarmac where car parks are separate from service areas. This will form part of a coordinated hard landscaping strategy. Car parking provision is appropriate for the type and size of the unit proposed.

Provision has been made for covered secure cycle shelters to be located adjacent to the main office blocks. Similar arrangements have been made for the required accessible parking bays.

Service yard areas will be formed in concrete surfacing, to provide a robust base for vehicle manoeuvring.

04.2 PEDESTRIAN AND CYCLE ACCESS

Footpaths will lead up to the office main entrance. Tactile paving and dropped kerbs will be provided at all road junctions, with further paving extended around offices and to the building perimeter.

Lighting by street lamps during hours of darkness will help to provide a safe and secure environment for the pedestrian / cyclist.

The development will be laid out to achieve accessibility for disabled occupants. All disabled car-parking bays are located as close to the main office entrance as possible, with cycle shelters providing security and protection for bicycles. Safe pedestrian routes from these shelters will meet up with the route between car park and the building. All levels within the car parking areas will have a gradient of less than 1:25, enabling wheelchair access and ambulant disabled to access the site without difficulty.

The main entrance into the unit will be 'wheelchair friendly' level entry, with automatic or manual opening doors. The doors will meet all current Building Regulations Part M requirements, with full height tubular steel handles for ease of opening. The force required to operate the doors will be below the maximum force recommended in the Building Regulations, and the effective opening width of each leaf will be designed to be more than 800mm.

Additional entrances to the operational areas will be provided from the yard areas.

04.3 PEDESTRIAN ACCESS - INTERNAL

Reception

The reception area to the main office area will be suitably sized to accommodate wheelchair users.

This will include appropriate space and waiting zones. All floor finishes will be suitable for wheelchair access.

Horizontal circulation

Internal corridors will be a minimum of 1500mm wide at the pinch point. All doors will have a minimum clear opening of 800mm and an opening force below the recommended maximum. Door furniture will contrast with the background colour of the door leaf, and be of either lever type, at 1000mm above floor level, or pull handles, commencing at 1000mm above floor level. Doors in corridors will be fitted with vision panels, commencing at 500mm above floor level.

Vertical circulation

Stairs will provide vertical access around the offices, and a passenger lift will provide access to all floor levels. All staircases and lifts will be designed in accordance with Approved Document M, with recommendations including contrasting nosings, and treads/risers suitable for ambulant disabled members of staff or visitors. Any member of staff, or visitor, with a visual impairment would be actively managed within the building.

Employment Space

The employment space is to be level throughout with clearly defined pedestrian routes. There will be fire exits within the the main employment space between the main offices and the employment space area. External stairs leading to the yards will be provided where necessary with minimum 900mm wide x 1400mm long refuge bays. The landing will be level with the employment space finished floor levels on these exits.

Toilets

Given the manual nature of work undertaken, toilets facilities will be provided in the employment space. In the offices, toilets will be provided for male, female and disabled users.

Finishes

All floor finishes are to be of a non-slip type, with carpets being of a shallow dense pile, allowing easy passage for wheelchair users. The walls, wall coverings and paint finishes are to be suitably contrasting with the joinery of the doors and low surrounds. Where wall tiles are to be used, they are to have a satin finish to reduce glare.